

6.0 HERITAGE ATTRIBUTES AND DISTRICT GUIDELINES

6.1 Heritage Character Areas

The Heritage Character Areas are defined by heritage attributes that give each area a unique or recognizable heritage character. The attributes can constitute some or all of the following:

- a collection of properties of a certain age,
- architectural style and design of buildings,
- building placement and setbacks,
- a particular density and scale,
- a particular landscape or setting,
- the streetscape and street cross-section, and
- associated monumental structures such as bridges or historic monuments.

Corresponding to the heritage attributes of each character area are a number of area specific guidelines. In all cases, it is the purpose of the guidelines to fulfill the objectives of the HCD (Section 5.1), including the conservation of contributing buildings, landscapes, monuments, and streetscapes and to ensure new designs contribute to the heritage character of Woodbridge and of each character area.

6.1.1 Woodbridge Avenue

Heritage Attributes:

1. Main Street character, with pedestrian oriented retail at grade level and a variety of other uses above grade, mostly residential.
2. A street wall of buildings averaging between 3 and 4 floors, with some buildings rising up to 6 floors.
3. Storefronts open directly onto the sidewalk and provide pedestrians with a variety of storefronts, which change every few steps.
4. Buildings are often built with zero (or minimum) setback.

Guidelines

1. The ground level of buildings along Woodbridge Avenue must be flush with the sidewalk, with direct access from the street.
2. Generally, new buildings along Woodbridge Avenue should be no taller than 4 floors (13m) and must be sympathetic to, and transition from, the height of adjacent contributing buildings with a minimum 45 degree angular plane, starting from the existing height of the contributing building, measured at the building's edge, (see section 6.4 - Built Form Framework).
3. New buildings may be allowed an increase in building height to 6 storeys provided that they meet official plan policy. In such cases, a podium of a minimum 2 floors and a maximum of 4 floors is required, with the additional two floors stepping back on a 45° angular plane.
4. Storefronts must be oriented towards the street and should be experienced as a collection of small scaled retail, with operable doors.

5. New buildings should be built directly to the front property or street line to establish a continuous street wall. When located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.
6. Existing contributing building should retain their historic setbacks, and create front landscaped courtyards that open onto Woodbridge Avenue to build on the "green" character of the street. (See Section 6.4.1.2 for setback guidelines)
6. As noted in Section 5.3.1, it has been identified that there needs to be a comprehensive review of the development activity within the Woodbridge Core area as a result of increasing pressures for redevelopment. The Woodbridge Core Area Study, 2009, will determine the development capability in the area, especially within the existing SPA's.

6.1.2 Kipling Avenue North and South

Heritage Attributes:

1. Kipling Avenue has a unique character that has established its identity within Vaughan, over the years. This character emerges from:
 - a. a significant tree canopy;
 - b. buildings that front directly onto Kipling with active at-grade uses and are setback, offering a landscaped front yard;
 - c. the weaving together of a wide range of building types and uses, within a strong green streetscape that enhances the public realm and creates walkable streets;
 - d. safe and well-connected boulevards and pathways;
 - e. a variety of intimately scaled open spaces and gathering spaces;
 - f. appropriately scaled buildings (average 2-3 floors) that frame public spaces and create a comfortable pedestrian environment; and
 - g. occasional open views to the valleys east and west.
2. Includes a variety of building types, and building styles.
3. Uses of existing buildings have evolved from mostly residential to include commercial activities and live-work units.
4. Is considered throughout history as one of the major points of entry and gateway to Woodbridge.
5. The north part of Kipling Avenue has changed drastically in the last few years, given several large development sites. Any new development in this area should be thoroughly considered in terms of sensitivity to conservation of the existing contributing buildings and landscapes in order to preserve the village character of the street.

Guidelines

1. Kipling Avenue should regain and retain its heritage character.



Woodbridge Avenue



Kipling Avenue



Wallace Street



2. New and renovated buildings and landscapes must:
 - a. conserve and enhance the tree canopy;
 - b. front directly onto Kipling Avenue, and provide a landscaped front yard that contributes to the overall streetscape;
 - c. contribute to the quality and connectivity of the pedestrian environment;
 - d. serve to enhance the overall system of trails, pathways and pedestrian walkways;
 - e. maintain the intimate scale of the street, through the building mass, the length of facades, and the detailing of architecture and landscape architecture;
 - f. be no taller than 3 floors (11 m); and
 - g. conserve and enhance views to the valleys east and west, as identified on Schedule 19, page 94.
 - h. provide a design that is sympathetic with the character of adjacent properties.
3. New buildings must have a residential character and should be conducive to a mix of uses, including small-scaled commercial uses.
4. All interventions within Kipling Avenue should contribute through structures and/or landscape to the design of significant points of entry and gateways.
5. Generally, new buildings should be built to a minimum 3m setback from the front property line or street line, and transition back to the setback line of existing contributing buildings, to maintain the character of the deep front yards.
6. Refer to Section 6.4.1.3 for further details on setback guidelines.

6.1.3 Wallace Street

Heritage Attributes:

1. A residential street character, that is narrow in nature and pedestrian oriented, and includes a broad variety of housing types fronting onto Wallace Street.
2. The existing street cross section consists of a R.O.W. of only 12 meters, and a roadway width of 9 meters. This narrow roadway is meant to carry traffic associated with the established low density residential neighbourhood.
3. Provides pedestrian access to Woodbridge Avenue, from the south. Provides access and views to public open spaces, since most of the street fronts directly onto either Memorial Hill or the North Johnson District Park (part of the Humber River Corridor).
4. In addition to the parkland, front yards provide a significant greenery and tree canopy. Houses on the west side are setback from the street, while houses on the east side are built directly on the property line.
5. Houses are predominantly 2 to 3 storeys in height on Wallace Street.
6. Side yards provide views towards the hillside on the west, and the river valley to the east.

Guidelines

1. The Street should retain the existing residential character with a single family detached building type and be designed to support a pedestrian streetscape. Where the Official Plan permits, duplexes, triplexes, and quadruplexes may be permitted provided they are carefully designed to appear as single detached dwellings, sensitive to abutting contributing buildings and landscapes, and provided they maintain existing side yard and front yard setbacks, are of a similar building height, and are of a building frontage width which is consistent with adjacent single detached dwellings.
2. Pedestrian connections to and from Woodbridge Avenue and the park system must be protected, maintained and additional opportunities to increase connections should be secured when new development applications are considered. Views and public access to parkland must be protected and enhanced.
3. Consistent setbacks should provide opportunities for landscape on the west side of the street.
4. New buildings should be a minimum of 2 floors (8.5 m) high and a maximum of 3 floors (11 m).
5. Detached residential units must provide a side yard as per zoning with open east-west views.

6.1.4 William Street and James Street

Heritage Attributes:

1. A rural residential street character, a quiet enclave, sheltered from the activity of Woodbridge Avenue and Kipling Avenue. The streetscape has a rural character, with sidewalks only on one side of the street, at least 4.5m front yard setbacks from the right-of-way, and a large number of trees.
2. There is a proportional predominance of greenery over built structures.
3. The railway dissects this area, and provides residual pockets of greenery, which add to the rural character.
4. The bridge is a centre piece, and a key element of the street's identity.
5. The Fairgrounds to the north offers a significant green buffer, currently inaccessible from this area.

Guidelines

1. The streets should retain the existing residential character with a single family detached building type and should retain the quiet rural street character, by preserving:
 - a. the significant tree canopy;
 - b. open views to the Fairgrounds towards the north;
 - c. buildings that front directly onto the street, but are setback (a minimum of 4.5 m), offering a landscaped front yard;
 - d. a tight street cross-section that minimizes hard surfaces by having minimum lane widths and maximum public realm and landscaping.



Clarence Street and Park Drive - Heritage Properties



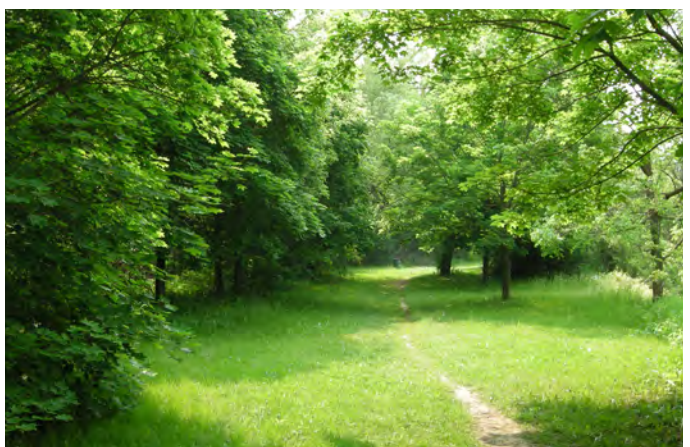
William and James Streets



William Street - Rail Bridge



The Fairgrounds



Humber River Corridor - Trail

2. New buildings should be a minimum of 2 floors (8.5 m) high and a maximum of 3 floors (11 m).
3. New buildings should provide ample soft landscaping and trees, to support a rural street character.
4. A naturalized tree canopy should be maintained along the railway corridor and the triangular extension of the railway corridor at the southwestern corner of the intersection of William Street and James Street.
5. The bridge should be maintained and preserved as a key feature of the area's identity.
6. The existing natural landscape and forest canopy at the edge of the Fairgrounds should be protected and maintained, and opportunities for pedestrian access sought.

6.1.5 Clarence Street and Park Drive

Heritage Attributes:

1. A residential street character, that is pedestrian oriented and includes a broad variety of housing types and styles fronting onto Clarence Street.
2. Provides access to Woodbridge Avenue, from the north.
3. Provides access and views to the Humber River Corridor.
4. In addition to the parkland, front yards provide a significant greenery and tree canopy.
5. Houses are predominantly 2 to 3 floors high.
6. Side yards provide views towards landscaped back yards and the river valley to the east.

Guidelines

1. The Street should retain the existing residential character with a single family detached building type and be designed to support a pedestrian streetscape. Where the Official Plan permits, duplexes, triplexes, and quadruplexes may be permitted provided they are carefully designed to appear as single detached dwellings, sensitive to abutting contributing buildings and landscapes, and provided they maintain existing side yard and front yard setbacks, are of a similar building height, and are of a building frontage width which is consistent with adjacent single detached dwellings.
2. Pedestrian connections to and from Woodbridge Avenue and the park system must be protected and their design enhanced. Views and public access to parkland must be protected and enhanced.
3. Consistent setbacks (of a minimum 4.5m), should provide opportunities for landscaping on both sides of the street.
4. New buildings should be a minimum of 2 floors (8.5 m) high and a maximum of 3 floors (11 m).
5. Detached residential units must provide a side yard as per zoning with open east-west views.

6.1.6 The Fairgrounds Area

Heritage Attribute:

1. The Fairgrounds represents one of the earliest single uses

in the Woodbridge district. Its location and the activities associated with the Fairgrounds are intricately tied to the identity of Woodbridge within Vaughan and beyond. The Fairgrounds property includes significant greenery and tree canopy that conserves a rural character, which extends to the surrounding context.

2. The Fairgrounds functions as an important open space, which is at the end of several important pedestrian connections and trails.
3. Buildings located within the Fairgrounds property have a rural character and setting.
4. Currently the Fairgrounds is programmed during limited times of the year and attracts an audience that is mostly related to the Woodbridge Fall Fair.

Guidelines

1. The Fairgrounds property and the Conservation Area to the east must retain an open space function, and should retain a rural and natural landscape.
2. Pedestrian connections to and through the Fairgrounds Area should be supported and enhanced. New pedestrian connections should be established.
3. New and existing buildings should not detract from the open space functions. New buildings should retain a rural scale and not exceed 3 floors (11m) in height.
4. Year round activities should be encouraged.
5. Pedestrian access from all sides should be improved.
6. Porter Avenue should be landscaped as a prominent gateway.

6.1.7 The Humber River Corridor

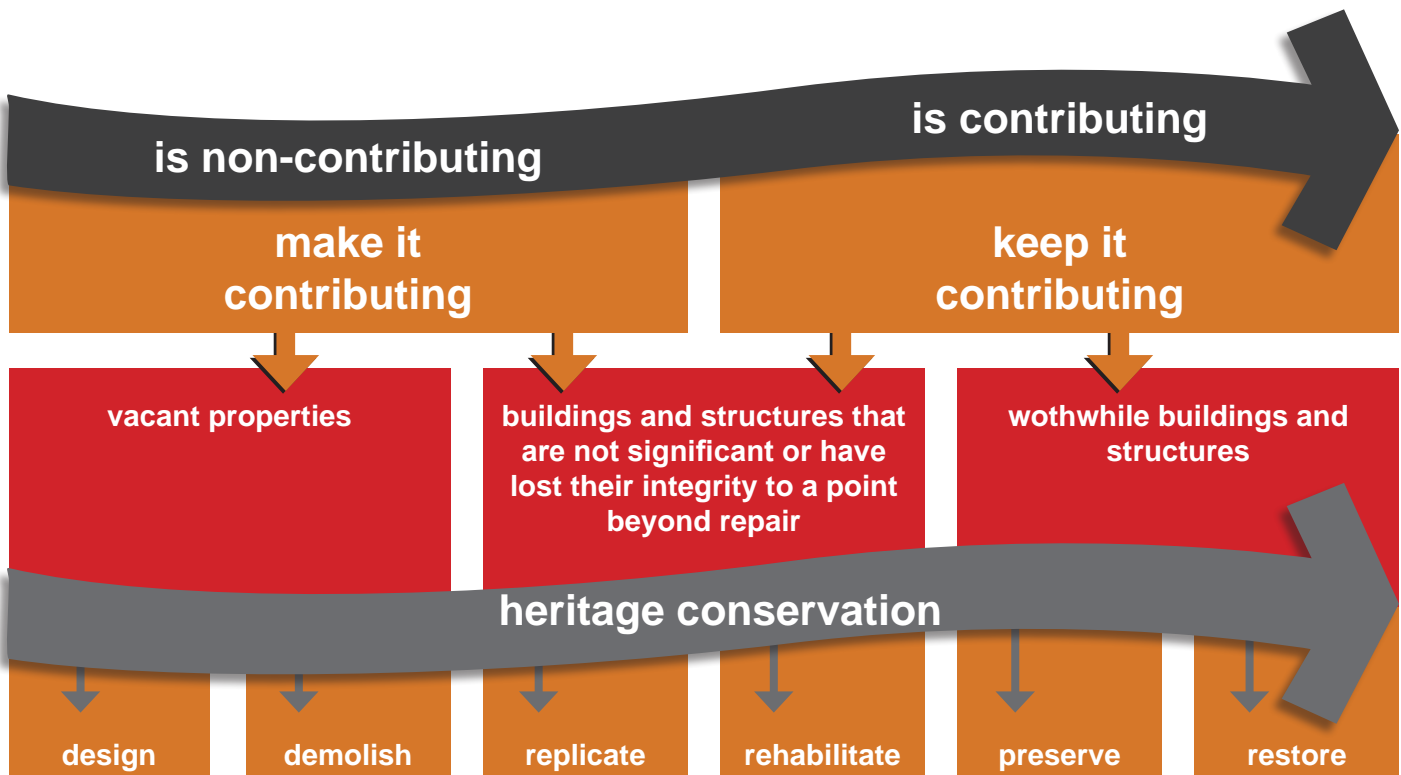
Heritage Attribute:

1. The Humber River Corridor is an open space, of regional significance, that provides amenity spaces for residents and visitors alike. In the past, the Humber River Corridor contained industry and agricultural lands. Today, within the district, the Humber River Corridor functions as an amenity space, and as natural conservation land.
2. The forests of the Humber River have always been an extensive and notable part of Woodbridge. Although rerouted throughout history, residences, social amenities, commerce and industry were always strategically located adjacent to or with access to the river. Apart from the Fairgrounds, the river valley has been the open space amenity and playground for the Woodbridge community, and as such, there are few small neighbourhood scaled parks as part of Woodbridge's history.

Guidelines

1. The Humber River Corridor must remain as a publicly accessible open space conservation zone, with public trail systems connecting to different areas within Woodbridge.
2. The portion of the Golf Course within the District must remain as an open space conservation zone. The trail systems alongside the Humber River should be extended where possible.

6.2 Approach: Conservation of Contributing Buildings



6.2.1 Standards and Guidelines for Conservation

As a starting point, this HCD Plan adopts the Federal “Standards and Guidelines for the Conservation of Historic Places in Canada” (Standards and Guidelines). These Standards and Guidelines provide a foundation for the conservation of archaeological sites, landscapes and buildings.

The Standards and Guidelines should be applied in tandem with the Woodbridge HCD Plan. Where a discrepancy may occur between these two documents, the Woodbridge HCD Plan will prevail.

It is the intent of this HCD Plan is to conserve and restore the heritage resources within the District and prevent their demolition or relocation. The retention of the existing heritage resources is essential to maintaining the village character of Woodbridge.

Conservation

The conservation of heritage buildings involves actions or processes that are aimed at safeguarding the heritage attributes of the resource so as to retain its heritage value and extend its physical life. Conservation can involve preservation, rehabilitation, restoration or a combination of these actions. These terms are defined as follows:

Preservation

The action or process of protecting, maintaining, and/or

stabilizing the heritage attributes (materials, form, integrity) of the entire heritage resource (or an individual component of the resource) while protecting its heritage value.

Rehabilitation

The action or process of ensuring a continuing use or a compatible contemporary use of a heritage resource (or an individual component) through repair, alterations, or additions, while protecting its heritage value. This can include replacing missing historic features either as an accurate replica of the feature or may be a new design that is compatible with the style, era, and character of the heritage resource.

Restoration

The action or process of accurately revealing, recovering, or representing the state of the heritage resource (or of an individual component), as it appeared at a particular period in its history, while protecting its heritage value. This could include removal of features from other periods in its history and the reconstruction of missing features from the restoration period (based on clear evidence and detailed knowledge).

6.2.2 Conservation Guidelines

- conserve and protect the heritage value of each heritage resource. Do not remove, replace, or substantially alter its intact or repairable heritage attributes.
- conserve changes to a heritage resource which, over time,

have become heritage attributes in their own right.

- conserve heritage value by adopting an approach to minimal intervention
- evaluate the existing condition of heritage attributes to determine the appropriate intervention needed. Use the gentlest means possible for any intervention.
- maintain heritage attributes on an ongoing basis to avoid major conservation projects and high costs.
- repair rather than replace heritage attributes using recognized conservation methods. Respect historical materials and finishes by repairing with like materials.
- replace using like materials any extensively deteriorated or missing parts of heritage attributes.
- undertake any work required to preserve heritage attributes physically and visually compatible with the character of the heritage resource as commonly found in the District.

6.2.3 Relocation of Contributing Buildings

Buildings and structures located within properties that are listed as contributing to the Woodbridge HCD Heritage Character should not be relocated and should remain in-situ within their existing context.

A threatened heritage building relocated to the District from another site should generally be compatible in style and type to the existing development patterns in the District.

6.2.4 Demolition of Contributing Buildings

Buildings and structures located within properties that are listed as contributing to the Woodbridge HCD Heritage Character shall not be demolished and shall remain in-situ within their existing context.

Cultural Services staff will assess all requests for demolition of buildings located within the District and evaluate them according to their current condition, and historical and architectural merit.

The City, under the *Ontario Heritage Act*, may refuse a demolition permit for either an individually designated building or a building located within the Heritage Conservation District.

6.2.5 Approach to Non-Contributing Buildings

Non-contributing buildings are not to be demolished until such time as a demolition permit has been issued.

Additions and alterations to non-contributing buildings can have an impact on contributing buildings and the overall character of Woodbridge. As non-contributing buildings are modified, and as new buildings are built, these should contribute to the heritage

character of Woodbridge as a whole, and specifically to the heritage character of adjacent contributing properties.

The City of Vaughan may require a Heritage Impact Assessment when it considers that cultural heritage value may exist, or be impacted by any new construction.

6.2.6 Activities that are Subject to Review

In accordance with Section 42.1 of the *Ontario Heritage Act*, the Goal and Objectives, Policies, and Design Guidelines in this document will be used to review the following types of activities in the District (other than those exempted below). In particular, as it relates to the review and approval of a Heritage Permit application:

- The erection, demolition, or removal of any building or structure, or the alteration of any part of a property other than the interior of a building or structure, other than activities described in Section 6.2.7, below. (A 'Structure' is anything built that is intended to be permanent, such as outbuildings, fences, signs, and infrastructure items such as utility boxes).
- All matters relating to the City of Vaughan Official Plan, and the regulation of zoning, site plan control, severances, variances, signage, demolitions, and building relocation.
- All municipal public works, such as street lighting, signs, landscaping, tree removal, utility locations and street and infrastructure improvements.
- All activities of the municipal and regional governments.

6.2.7 Activities that are Exempt from Review

Any person wishing to erect, demolish, or remove a building or structure located in a property within the Woodbridge HCD, or to alter the external portions of such a building or structure, shall submit a heritage permit application in writing to the City of Vaughan.

Heritage Vaughan must approve all applications for heritage permits that propose such changes to any building within the district. When an application is received, the Cultural Services Division will review the application with Heritage Vaughan and make recommendations as necessary.

A heritage permit is not required for some activities regarding the alterations to a building or structure located on a property within the Woodbridge HCD. In accordance with Section 41.1(5)(e) of the Ontario Heritage Act, the following classes of alterations that are minor in nature, are not required to obtain a heritage permit, and are not subject to review under this Plan: (See Section 8.0)

- any interior work unless the interior is identified in a Part IV Designation;

- any alteration that is not visible from the street or from any other public space;
- maintenance and repair of existing features (that do not alter the historic design or construction detailing, and appropriate materials as listed in the following section are used), including roofs, eavestroughs, chimneys, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches, steps, entrances, foundations, and decorative wood, metal, stone or terra cotta;
- painting of wood or painted metal finishes;
- caulking, window repair, weatherstripping, installation of existing storm doors and storm windows;
- minor installations, including small satellite dishes, lighting, and flagpoles;
- fencing, patios, garden and tool sheds, gazebos, dog houses and other out buildings that do not require a Building Permit and are not visible from the street;
- planting and removal of trees smaller than 200mm caliper, measured at 1.5m above the ground, and any other vegetation on private property;
- extension of residential parking pads other than in front of flankage yards;
- ramps and railings to facilitate accessibility, gates installed for child safety that are located in such a manner as to not be visible from the public domain;
- temporary installations, such as basketball nets, planters, statues, seasonal decorations; and
- repair of utilities and public works, installation of public works that are in compliance with the Guidelines.

Although a permit is not required in the above instances, property owners and tenants are encouraged to meet with Cultural Services Staff to ensure alterations conform with the spirit and intent of the HCD Plan and guidelines, and to consider acquiring a heritage conservation plan to assist in the proper care of their buildings. (See Section 7.1 of the Plan)

6.2.8 Appropriate Materials

Exterior Finish: Smooth red clay face brick, with smooth buff clay face brick as accent, or in some instances brick to match existing conditions.

Exterior Detail: Cut stone or reconstituted stone for trim in brick buildings.

Shopfronts: Wood frames, glazing bars, and panels with glazed wood doors are preferred. Metal shop fronts, detailed and proportioned to be compatible with heritage shop fronts, are acceptable.

Roofs: Hipped or gable roof as appropriate to the architectural style. Cedar, slate, simulated slate, or asphalt shingles of an

appropriate colour. Standing seam metal roofing, if appropriate to the architectural style. Skylights in the form of cupolas or monitors are acceptable, if appropriate to the style.

Doors: Wood doors and frames, panel construction, may be glazed; transom windows and paired sidelights with real glazing bars; wood french doors for porch entrances; single-bay, wood panelled garage doors.

Windows: Wood frames; single or double hung; lights as appropriate to the architectural style; real glazing bars, or high quality simulated glazing bars; vertical proportion, ranging from 3:5 to 3:7.

Flashings: Visible step flashings should be painted the colour of the wall.

6.2.9 Inappropriate Materials

Exterior Finish: Concrete block; calcite or concrete brick; textured, clinker, or wire cut brick, contemporary stucco applications, except where their use is consistent with existing conditions; precast concrete panels or cast-in-place concrete; prefabricated metal or plastic siding; stone or ceramic tile facing; "rustic" clapboard or "rustic" board and batten siding; all forms of wood "shake" siding (very rough form of cedar shingles).

Exterior Detail: Prefinished metal fascias and soffits; "stock" suburban pre-manufactured shutters, railings, and trims; unfinished pressure-treated wood deck, porches, railings, and trim.

Shopfronts: Standard metal shopfronts and prefinished metal spandrel material; frameless tempered glass shopfronts.

Roofs: Slopes or layouts not suitable to the architectural style; non-traditional metal roofing such as pre-finished metal, corrugated metal; modern skylights, when facing the street.

Doors: "Stock" suburban door assemblies; flush doors; sidelights on one side only; aluminum screen doors; sliding patio doors; double-bay, slab or metal garage doors generic or stock stained glass window assemblies for doorlights and sidelights.

Windows: large picture windows; curtain wall systems; metal, plastic, or fibreglass frames; metal or plastic cladding; awning, hopper, casement or sliding openers; casement windows may be appropriate on California Bungalow styled buildings; "snap-in" or tape simulated glazing bars.

Flashings: Pre-finished metal in inappropriate colours.

6.3 Architectural Guidelines for New Buildings, Additions and Alterations

Within the heritage district new architecture will invariably be constructed. This will occur on vacant sites, as replacement buildings for non-contributing existing structures, or severely deteriorated older buildings.

Entirely new buildings may be proposed:

- where no previous buildings existed or,
- where original buildings are missing or,
- where severely deteriorated buildings are removed through no fault of the current owner, or
- where non contributing buildings are removed.

In order to avoid the deterioration of contributing buildings, the City should enforce a Municipal By-Law that establishes a minimum level of maintenance required to ensure their conservation.

The intention in creating designs for new buildings should not be to create a false or fake historic building. Instead the objective must be to create a sensitive well designed new structure “of its time” that is compatible with the character of the district and its immediate context. Designers of new buildings in the district should have a proven track record with the creation of designs in similar historic contexts.

The design of new buildings in the HCD should carefully consider requirements elsewhere in this document for density, scale, height, setbacks, coverage, landscape open space, view corridors, angular plane and shadowing. Further, character areas have been identified in the district. Each character area has identifiable characteristics including commercial mainstreet as opposed to residential, building scale, spacing, and setback, which should also be understood and respected.

New buildings will fall into two categories - replica or reconstructed buildings, and contemporary buildings.

6.3.1 Replica / Reconstructed Buildings

On a few sites the opportunity may exist to replicate a formerly existing structure with a new building, or as a part of a larger building proposal. This approach is to be encouraged where good documentary evidence exists. The replication of a historic building should proceed in a manner similar to the restoration of an existing but altered or deteriorated structure.

Design of the building should be based upon documentary evidence including photographs, maps, surveys and historic design/construction drawings.

Replica designs should be prepared by practitioners skilled in historic research and historic construction design and detailing. The interior space and basic structure of a replica building is not required to use historic materials or details (although it may do so) as long as the exterior presentation replicates the original structure.



Joseph Brant House, Oil on Canvas, 54x94cm, by Edward Lawson Henry (1841-1919), Albany Institute of History & Art, 1993.44



Joseph Brant Museum, Burlington, Ontario

A replica of the original house was built in 1937-1938 on the same site.

6.3.2 Contemporary Design

Just as it is the characteristic of the Woodbridge HCD to contain contributing buildings in at least 12 recognizable styles, contemporary work should be “of its time”. This is consistent with the principles stated in the Venice Charter, Appleton Charter and other charters recognized internationally as a guide for heritage work. This does not mean that new work should be aggressively idiosyncratic but that it should be neighbourly and fit this “village” context while at the same time representing current design philosophy. Quoting the past can be appropriate. It should, however avoid blurring the line between real historic “artifacts”, and contemporary elements.

“Contemporary” as a design statement does not simply mean “current”. Current designs with borrowed detailing inappropriately, inconsistently, or incorrectly used, such as pseudo-Victorian detailing, should be avoided.



Contemporary Design

Image Credit: Mountain House, 1993, North Carolina
Clark & Menefee Architects



Contemporary Design

Image Credit: Residence at Calf Creek, 1987, New York
Robert A. M Stern Architects

6.3.3 Architectural Guidelines

Material Palette

There is a very broad range of materials in today's design palette, but materials proposed for new buildings in the district should include those drawn from ones historically in use in Woodbridge. This includes brick, stone, traditional stucco; wood siding and trim, glass windows and storefronts, and various metals. The use and placement of these materials in a contemporary composition and their incorporation with other modern materials is critical to the success of the fit of the proposed building in its context. The proportional use of materials, use of extrapolated construction lines (window head, or cornices for example) projected from the surrounding context, careful consideration of colour and texture all add to the success of a composition.

Proportions of Parts

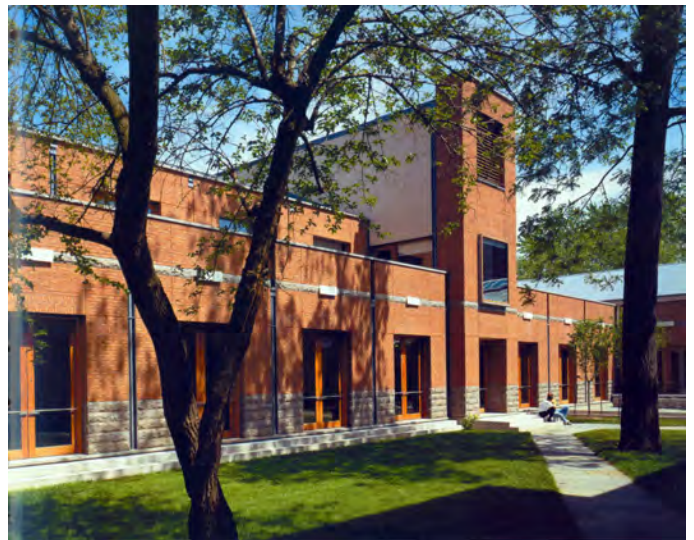
Architectural composition has always had at its root the study of proportion. In various styles, rules of proportion have varied from the complex formulas of the classical orders to a more liberal study of key proportions in buildings of the modern movement.

For new buildings in this heritage district, the design should take into account the proportions of buildings in the immediate context and consider a design with proportional relationships that will make a good fit.

An example of this might be windows. Nineteenth century buildings were arranged without fail using a vertical proportioning system, organizing windows singly or in groups. This proportioning system extends to the arrangement of panes within individual windows. In buildings of the Art Deco and Art Moderne period windows are often of a horizontal proportion. Although this horizontality is not universally the case, it is a character defining feature of these styles.

Solidity versus Transparency

It is a characteristic of historic buildings of the 19th century to have solid walls with punched windows. This relationship of solid to void makes these buildings less transparent in appearance. It was a characteristic that was based upon technology (the ability to make large windows and to heat space came later, and changed building forms), societal standards for privacy, and architectural tradition. Buildings of many 20th century styles in contrast use large areas of glass and transparency as part of their design philosophy.



Contemporary Design with Appropriate Materials

Image Credit: Woodsworth College, Toronto, Ontario, 1992, Kuwabara Payne Mc Kenna Blumberg Architects



Contemporary Design with Appropriate Proportion of Parts

Image Credit: King James Place, Toronto, Ontario, 1991, Kuwabara Payne Mc Kenna Blumberg Architects

In this historic district the relationship of solidity to transparency is a characteristic of new buildings that should be carefully considered. The nature of the immediate context for the new building in each of the defined character areas should be studied. The level of transparency in the new work should be set at a level that provides a good fit on the street frontages.

In the Woodbridge Avenue Character Area, a Main Street approach can be taken and a more transparent building permitted between the ratios of 20% solid to 70% solid.

In the other character areas this proportion should reflect a more traditional residential proportion of 40% solid to 80% solid.

Detailing

In past styles structure was often hidden behind a veneer of other surfaces. "Detailing" was largely provided by the use of coloured, shaped, patterned or carved masonry and /or added traditional ornament, moldings, finials, cresting and so on. In contemporary buildings every element of a building can potentially add to the artistic composition. Architectural, structural, mechanical and even electrical systems can contribute to the final design.

For new buildings in the Woodbridge Heritage District, the detailing of the work should again refer to the nature of the immediate context and the attributes of the Character Area in which it is to be placed.

In the Woodbridge Avenue Character Area, detailing can be more contemporary yet with a deference to scale, repetition, lines and levels, beam and column, solid and transparent that relates to the immediate context.

In the other character areas, the detailing of new buildings should tend toward a more traditional approach. Whereas a contemporary approach is permitted, the use of moldings, brackets, architraves, entablatures, cornices and other traditional detailing is encouraged, to help ensure a good fit with the immediate context.



Contemporary Design with Appropriate Proportion of glazing to wall area

Image Credit: New York Townhouse, 1975, New York
Robert A. M Stern Architects



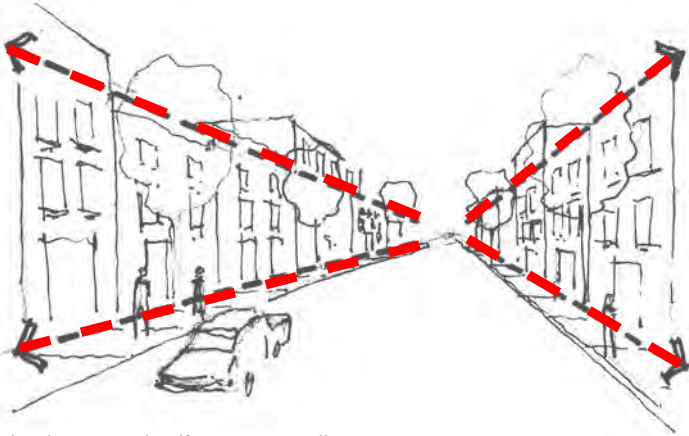
Contemporary Design with Appropriate Architectural Detailing

Image Credit: Art Institute of Chicago, Daniel F. and Ada L. Rice Building, Illinois, USA, Thomas H. Beeby

6.4 Built Form Framework

6.4.1 Street Wall Setbacks

The “street wall”, is the condition where buildings line or front onto the edge of a street in a consistent manner, collectively achieving the effect of a “wall” along the street. This effect is best achieved where buildings have consistent setbacks and built form characteristics. A coherent and uniform street wall shapes the character of the street, and provides pedestrians a clear streetscape. In Woodbridge the character and composition of street walls vary from street to street and should be considered accordingly to maintain the varying street character.



A coherent and uniform street wall

6.4.1.1 Woodbridge HCD (General)

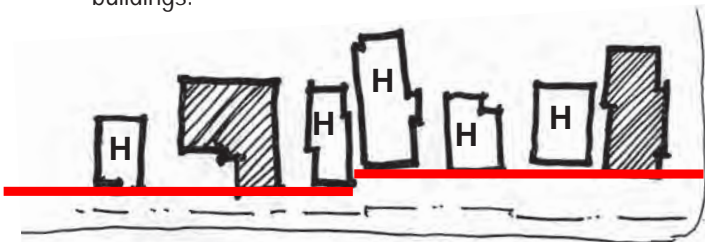
Heritage Attributes

1. Except for portions of Woodbridge Avenue, buildings are often setback from the street.
2. Contributing buildings display a variety of setbacks and side yard conditions, reflecting the different construction period and original use.
3. Contributing buildings include doors and windows facing directly onto the street, creating an animated environment for pedestrians.

Guidelines

(See Section 6.5: Transitions of New Buildings in Relation to Heritage Resources)

1. The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.



H - Contributing Heritage Resources

2. When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.
3. Existing contributing buildings should retain their historic setbacks, and create front landscaped courtyards built on the “green” character of Woodbridge’s streetscapes.
4. Except where noted, new buildings must follow the City of Vaughan Zoning Bylaw in regard to side yards, back yards, interior yards and exterior yards.
5. All buildings must have active uses facing the street. No building shall have a blank wall facing a street or public space.
6. Retail is recommended as the predominant use at grade along Woodbridge Avenue, especially between Wallace Street and Clarence Avenue, to encourage an animated street character.

6.4.1.2 Woodbridge Avenue (Character Area - CA)

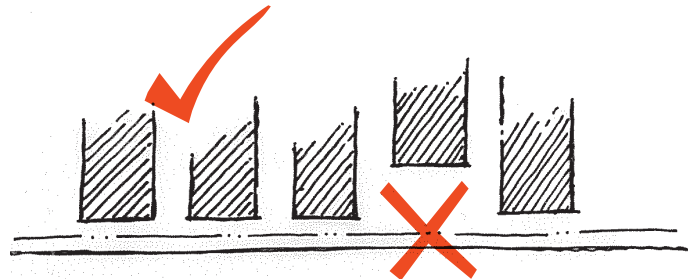
Heritage Attributes

1. Follow a Main Street character, buildings with retail at grade are often built with zero (or minimum) setback.
2. Contributing buildings display a variety of setbacks and side yard conditions.
3. Contributing buildings are most often built with zero or limited side yards. This creates a continuous street wall and contributes to the main street character.

Guidelines

(See Section 6.5: Transitions of New Buildings in Relation to Heritage Resources)

1. New buildings should be built directly to the front property or street line to establish a continuous street wall.



2. The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.
3. When located adjacent to existing contributing buildings that are set back from the property or street line, new

buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.

- Where heritage contributing buildings are located on either side of a new development site, and are set further back from the zero setback line; the setback for the development site will be the average of the front yard setbacks of the two properties on either side.



Diagram A

- Where heritage contributing buildings are set further back from the recommended zero setback line, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.

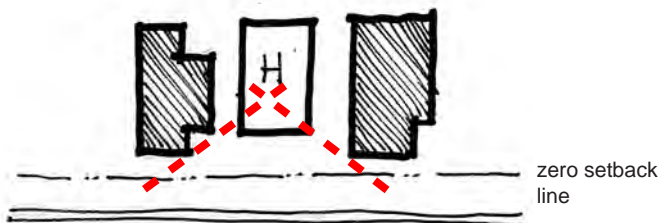


Diagram B

- Existing contributing buildings should retain their historic setbacks and sideyard conditions, and create front landscaped courtyards that open onto Woodbridge Avenue to build on the "green" character of the street.
- New buildings should have no side yards fronting onto Woodbridge Avenue, and should create a continuous street wall.

6.4.1.3 Kipling Avenue North and South (CA)

Heritage Attributes

- Existing contributing buildings respond to the character of a heritage village avenue, built with mostly detached residential homes, setback from the street, as described in section 6.1.2.

Guidelines

- New development should be set back a minimum of three metres from the property line and a maximum of 4.5 metres to maintain the deep setback character of contributing buildings, and allow for landscaped front yards.

- Where heritage contributing buildings are located on either side of a new development site, and are set further back from the 3.0m minimum building setback line; the setback for the development site will be the average of the front yard setbacks of the two properties on either side. (See Diagram A)

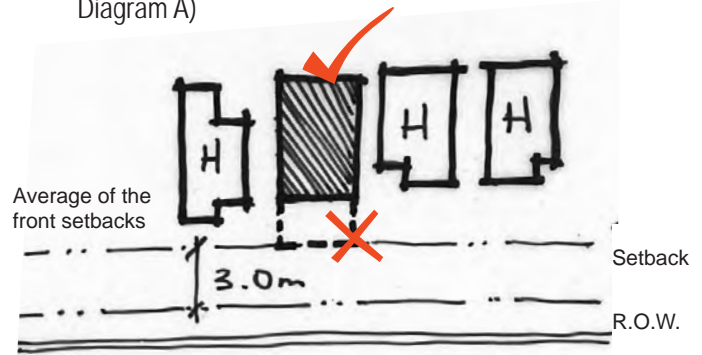


Diagram A

- Where heritage contributing buildings are set further back from the recommended 3.0m minimum building setback line, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building.

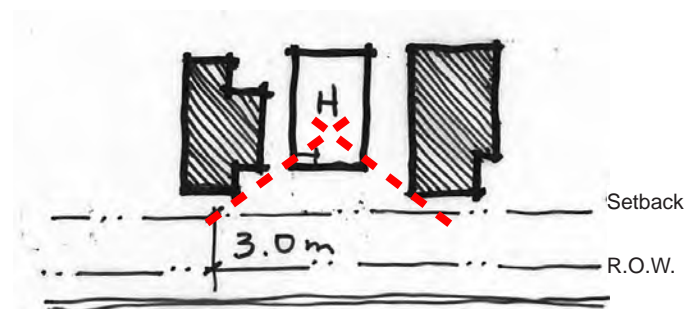


Diagram B

6.4.1.4 Wallace Street (CA)

Heritage Attributes

- Existing contributing buildings on the west side are setback from the street and provide landscaped front yards and a significant tree canopy.
- Existing contributing buildings on the east side include a minimum setback from the street.

Guidelines

- New buildings on the west side must setback a minimum of 3 metres from the street and a maximum of 4.5 metres.
- New buildings on the east side may be built with no setback, and with a maximum setback of 2 metres.
- New buildings must be sympathetic to the setbacks of adjacent contributing buildings.

6.4.1.5 William Street & James Street (CA)

Heritage Attributes

1. While existing contributing buildings vary noticeably in their setback condition, several are significantly setback from the street, and collectively they create a streetscape with open views and ample landscaping. The existing setback along these streets is a minimum 4.5 metres from the right-of-way.

Guidelines

1. New buildings must setback a minimum 4.5 metres from the street.

6.4.1.6 Clarence Street and Park Drive (CA)

Heritage Attributes

1. Existing contributing buildings on the west side of Clarence Street are setback from the street and provide landscaped front yards. Currently there is no sidewalk on the west side of the street, north of Rosebury Lane.
2. Existing contributing buildings on the east side of Clarence Street offer a wide variety of setback conditions. Currently there is a sidewalk on the west side of the street.

Guidelines

1. New buildings on the west side must setback a minimum of 3 metres from the street and a maximum of 4.5 metres.
2. New buildings on the east side may be built with a zero setback, and with a maximum setback of 2 metres.

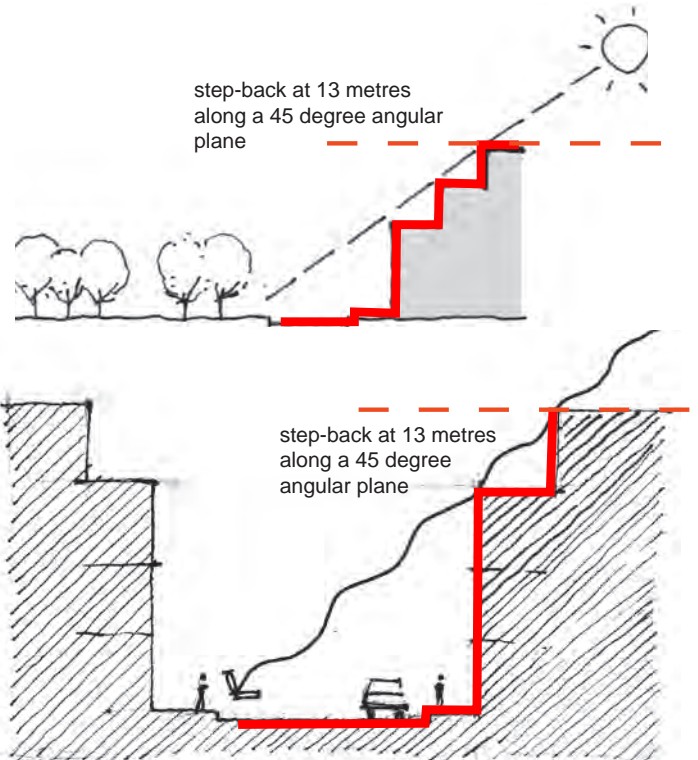
6.4.2 Street Wall Height and Scale

6.4.2.1 Woodbridge HCD (General)

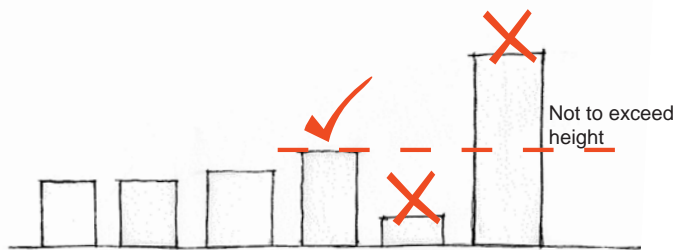
The height and scale of structures has a significant impact on the overall character of a street and district.

The height of a structure is noticeable both from: a close distance, where it contributes to the character of the street wall, to the penetration of sunlight, to the views of the context and sky, to wind and microclimatic conditions, and to the experience of pedestrians; and from a greater distance, where it contributes to the skyline and district wide views.

In Woodbridge, the height and scale of buildings has a relatively consistent "Village" character, generally free standing 2-3 storey buildings with the exception of small concentrations of up to 6 storeys in certain locations. This character is established by both historic structures and some of the more recent buildings. Maintaining a relatively uniform height and scale of buildings is a significant aspect of conserving the heritage character of individual properties, of streets, and of the Woodbridge district as a whole.



Buildings, structures and landscapes in Woodbridge are of a scale and height that is welcoming to pedestrians, and new development should allow ample sun penetration and open views.



Maintain a relatively uniform height and scale of buildings.

Heritage Attributes

1. Except for Woodbridge Avenue, buildings are generally 2 to 3 storeys tall.
2. Contributing structures present within limits, a variety of heights and scales. Most often, the heritage attributes of individual buildings include the designed height and its relationship and views within its context.

Guidelines

1. Except where noted, new buildings should be a minimum of 2 floors (8.5 m) and a maximum of 3 floors (11 m).
2. The height of existing contributing buildings should be maintained. New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45 degree angular plane. (See section 6.5, Diagram A)
3. The height of a building is measured from the average elevation of the finished grade at the front of the building to the highest point of the roof surface for a flat roof and a mansard roof; and to the mean height between the eaves and the highest point of a gable, hip, or a gambrel roof. (See Section 6.5, Diagram B)

6.4.2.2 Woodbridge Avenue (Character Area - CA)

Heritage Attributes

1. Woodbridge Avenue has a Main Street character, which includes heritage buildings that are 2 and 3 floors tall.
2. More recent construction includes buildings that are 4 and 6 floors tall, facing Woodbridge Avenue.

Guidelines

1. New buildings must have a building podium, lining the street, of 2 floors minimum and 4 floors maximum.
2. Additional building height, to a maximum of 6 floors (20m), may be considered only when there is no undue impact to the public realm and/or adjacent properties, including an impact on sunlight penetration and views. Additional building height must step-back along a 45 degree angular plane from:
 - the street, starting at 13 metres, when facing a street and starting at 9.5 metres, when facing another property; and
 - the height of any contributing building, (see Section 6.5).

6.5 Transitions of New Buildings in Relation to Heritage Resources

Key to the Woodbridge HCD is first, conserving the structures and landscapes that contribute to the HCD's heritage character, and second, managing the introduction of new structures and landscapes in such a way that they harmonize with contributing buildings and contribute to the district's heritage character.

The following guidelines, as established in the Woodbridge HCD Study, shall be used to assist in the process of achieving the proper transition of building scales, heights and presence in order to create a harmonious relationship between new structures and landscapes with contributing properties within the Heritage District.

i. Conservation of Heritage Resources

- Buildings and structures listed as 'contributing' in the Woodbridge HCD may not be demolished or moved.
- The City of Vaughan may require a Heritage Impact Assessment when it considers that cultural heritage value may exist, or be effected by any new construction.

ii. Conservation of Heritage Character

Contributing buildings display a variety of setbacks and side yard conditions, reflecting the different construction periods and original use.

- New development must be sympathetic to this character and must develop in a way that does not detract, hide from view, or impose in a negative way, on existing heritage contributing resources, as per the following height and setback guidelines.

- The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings. (See Section 6.4.1 Guidelines)

In addition to the following HCD's guidelines, new and renovated structures and landscapes, as well as additions to existing structures and landscapes, must be sensitive to the heritage character and the heritage attributes of adjacent heritage resources. This includes properties immediately adjacent to an HCD.

For the purpose of this Plan, the term "adjacent" includes properties that a) touch; b) form part of a cluster; c) form part of a continuous street wall; and d) are visible from each other.

In order that new structures and landscapes harmonize with contributing properties, a proper transition must be achieved between different scales, heights, and presence. To assist this process, the following guidelines are provided:

iii. Height Guidelines

- The height of contributing buildings should be maintained.
- The setback requirement to adjacent contributing heritage buildings must be at least half the building height. This transition pertains to the back and side yards of a contributing building, (see Diagram A).

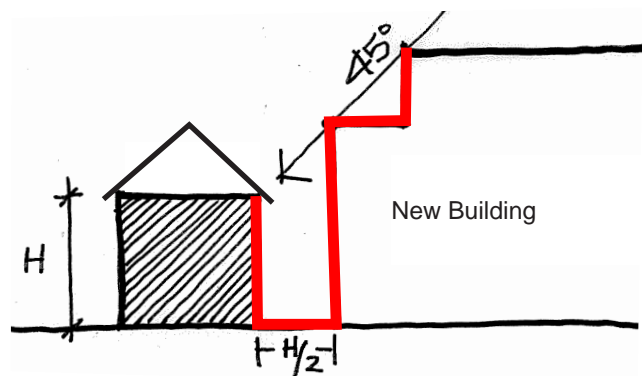


Diagram A

- New buildings must transition from the height of adjacent contributing buildings with a minimum 45 degree angular plane, starting from the existing height of the contributing building. The height of a contributing building is measured from the average elevation of the finished grade at the front of the building to the highest point of the roof surface for a flat roof and a mansard roof; and to the mean height between the eaves and the highest point of a gable, hip, or a gambrel roof, (see the following Diagram B).
- #### iv. Sideyard and Backyard Setback Guidelines
- New buildings must have a sideyard, and backyard setback from contributing buildings a distance equivalent to half the height of the contributing building, (see the following Diagram C).

HERITAGE ATTRIBUTES AND DISTRICT GUIDELINES

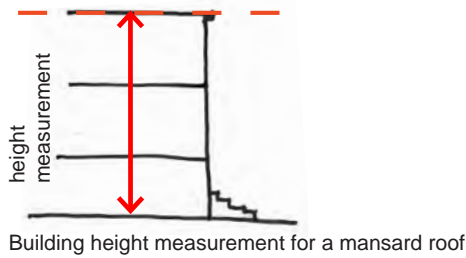
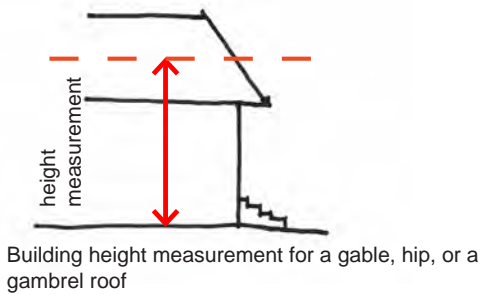
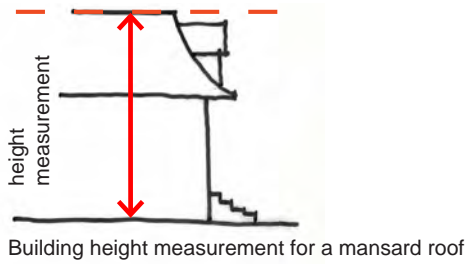


Diagram B

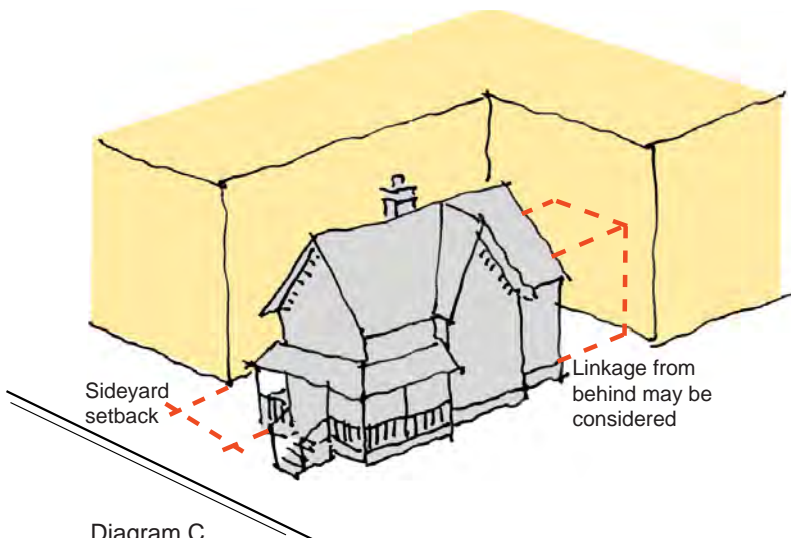


Diagram C

- Consideration may be given to the construction of new buildings, and additions to contributing buildings, joining with contributing buildings only when:
 - new construction is located in the parts of the contributing building that is not visible from the street or from a public space;
 - new construction is setback from the street frontage of the contributing building, to maintain open views and vantage points from the street to the contributing buildings and to support the unique heritage character of the street;
 - the parts of the contributing building that will be enclosed or hidden from view by the new construction, do not contain significant heritage attributes, and the three dimensional form of contributing buildings can be maintained; and,

- new construction is of a good architectural quality and contributes to the district's heritage character, (see Diagram D).

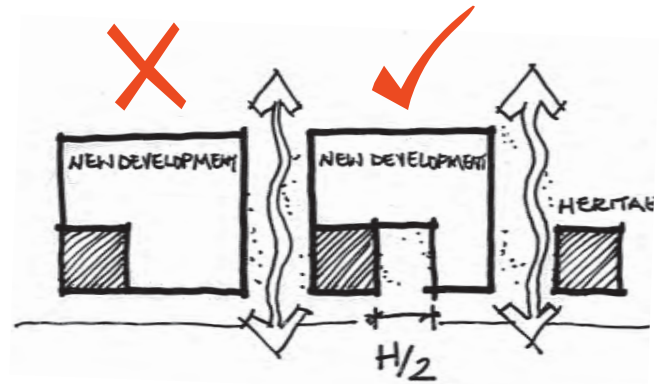


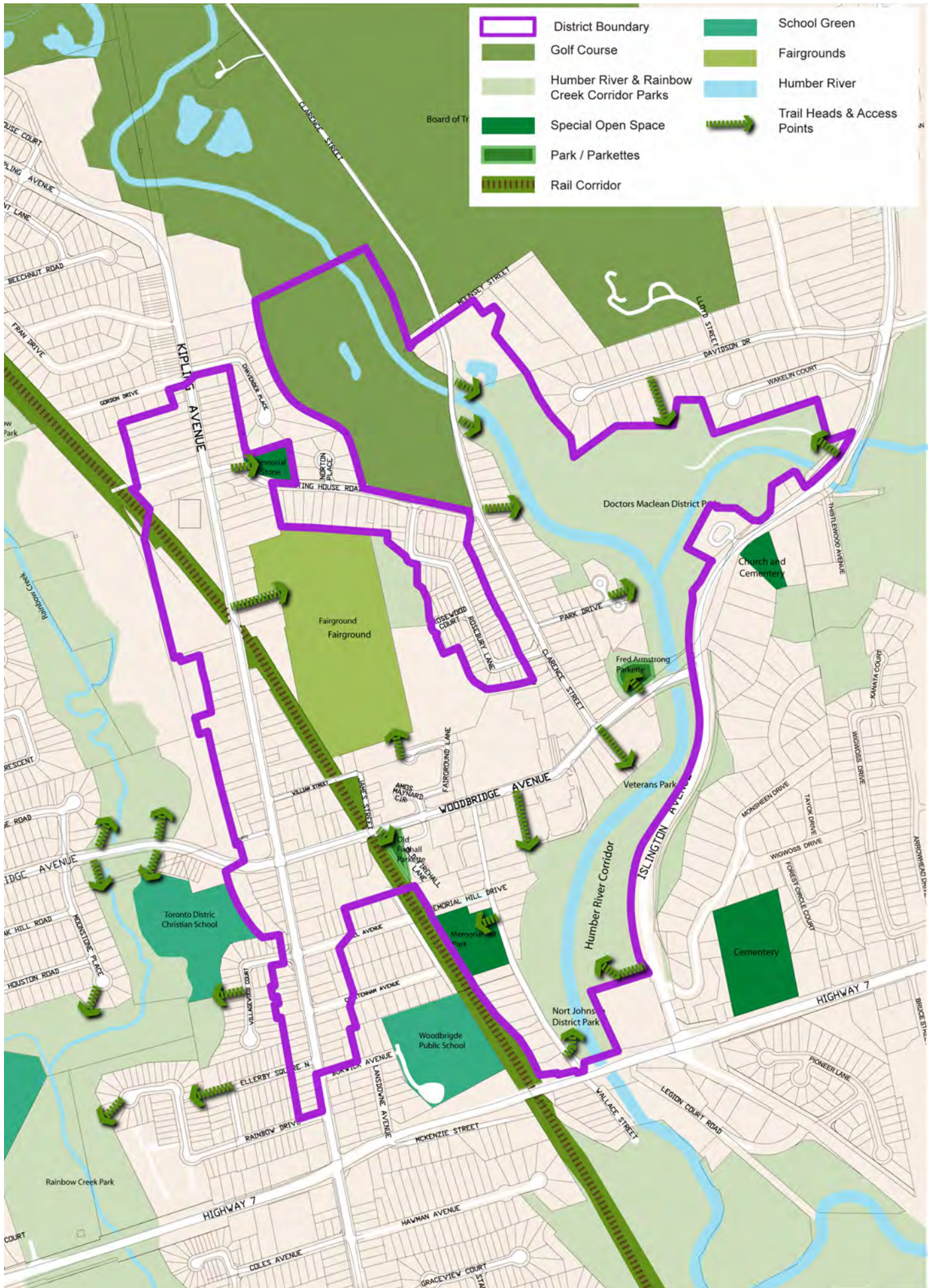
Diagram D

v. Frontyard Setback Guidelines

- The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.
- When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.
- Where heritage contributing buildings are located on either side of a new development site, and are set further back from either a zero building setback line along Woodbridge Avenue, or a 3.0m minimum building setback line along Kipling Avenue; the setback for the development site will be the average of the front yard setbacks of the two properties on either side, (see Section 6.4.1.2 and 6.4.1.3, Diagram A). The majority of the existing heritage buildings along Woodbridge Avenue already reflect a zero setback condition.
- Where heritage contributing buildings are set further back from either a zero building setback line along Woodbridge Avenue, or a 3.0m minimum building setback line along Kipling Avenue, any new development adjacent to the heritage contributing building must be set back, at a minimum, to a line measured at 45 degrees from the front corner of the existing heritage contributing building, (see Section 6.4.1.2 and 6.4.1.3, Diagram B).

vi. Guidelines for Properties Adjacent to an HCD

- Properties adjacent to an HCD boundary should be considered under Part IV review, and should be considered as an "immediate adjacency" to the heritage boundary.
- Adjacent properties should be respectful in terms of character defined within the HCD boundary.
- As per the Provincial Policy Statement - the Ontario Toolkit - properties located adjacent to an HCD boundary and especially properties within the valley lands, need to create a proper transition to adjacent HCD properties and integrate with the heritage open space system.



Schedule 15: Open Space System

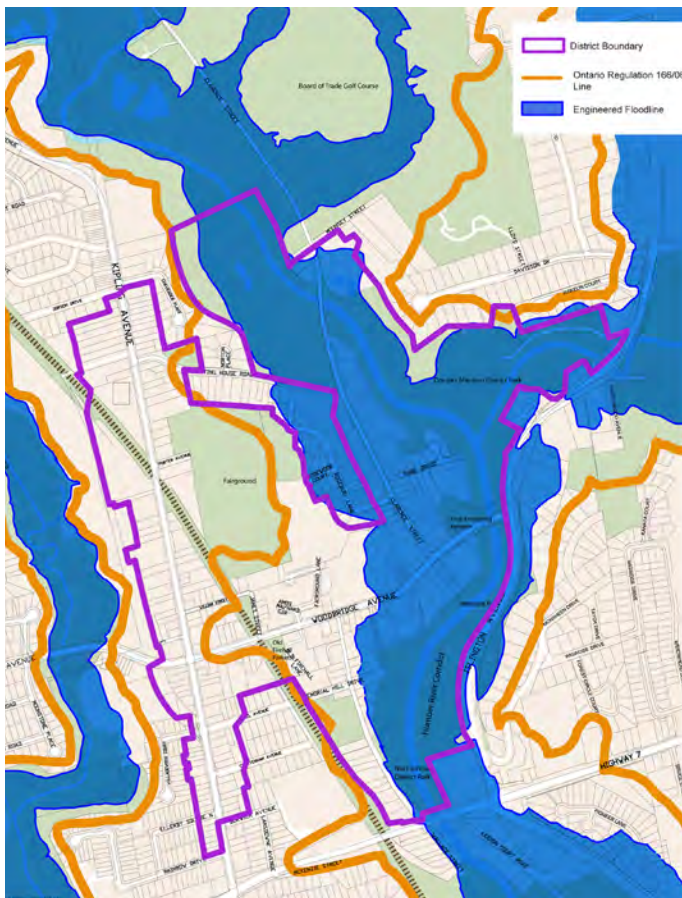
6.6 Open Space Framework

6.6.1. Public Open Spaces, Parks, and Public Streets

The Village of Woodbridge has been and is still greatly defined by the rich landscape diversity of the Humber River Valley, valley parkland, and other contributing open spaces. The pattern of integrated development within such an extensive valley system defines Woodbridge as “a community within a park”. Hence, the heritage character of the Woodbridge HCD is intricately tied to the natural system of open spaces, as well as the urban parks, streets and green linkages. The natural open spaces represent a vast diversity of distinct landscape elements that are integral to the character of Woodbridge such as Memorial Hill Park or Nort Johnston Park. The urban open spaces, streets and linkages are also considered integral as they function as extensions of the surrounding parkland and provide a soft transition from the natural landscape to the built environment.

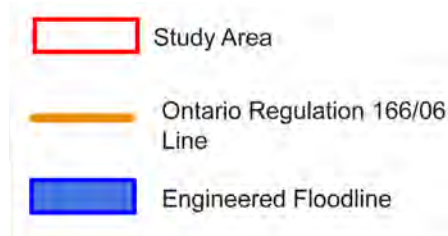
Heritage Attributes

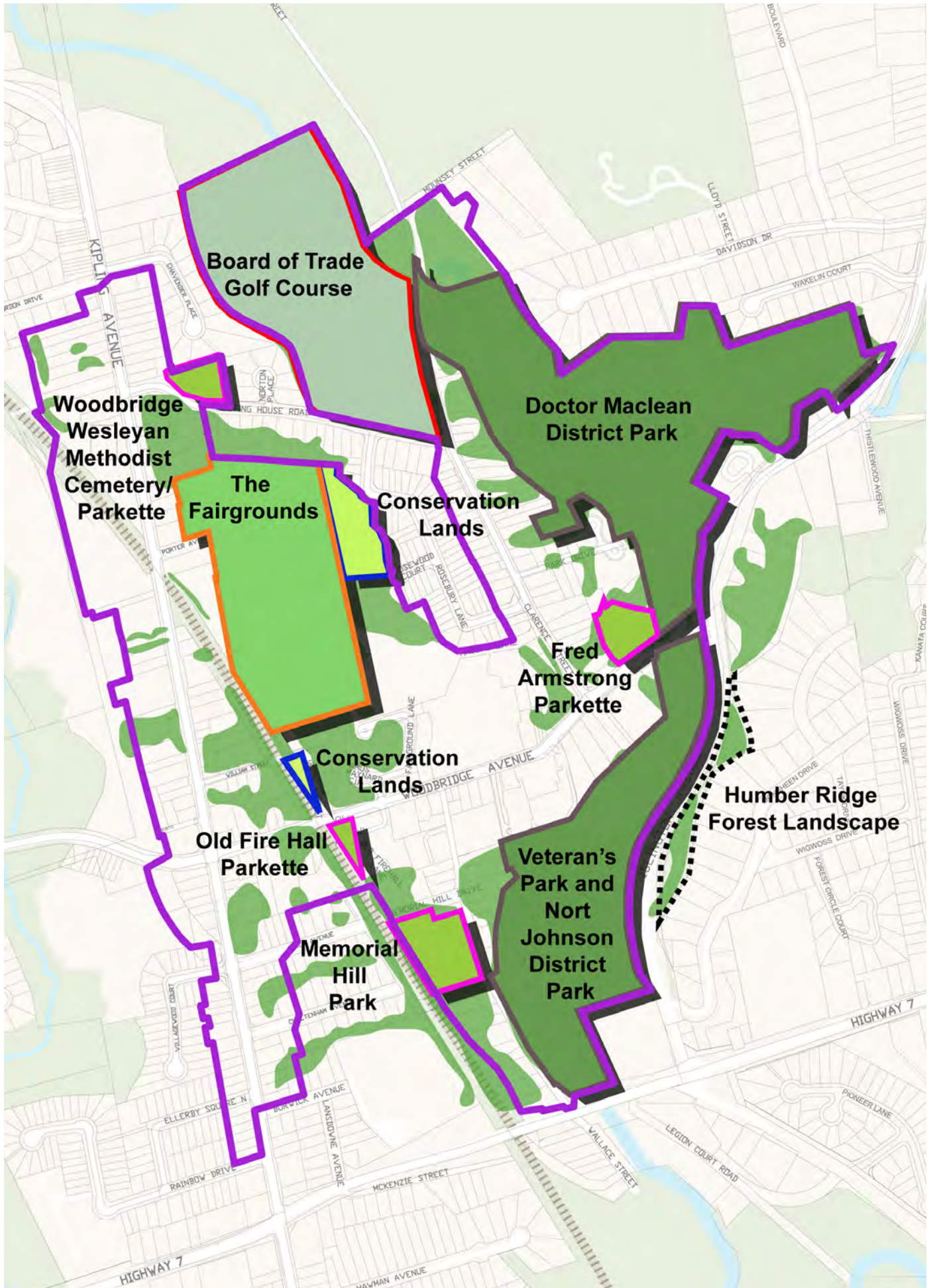
1. Woodbridge is defined by a vast system of natural landscapes and open spaces that are intertwined with the built form. (see Schedule 15, Page 88 and Schedule 17, Page 90)
2. Two river valleys, the Humber River and Rainbow Creek (outside the HCD) flank the HCD and give rise to a system of trails and open spaces.



Schedule 16: TRCA Flood Plain and Generic Regulation Limit

3. The character and identity of the river valleys has changed over time from being mostly industrial and agricultural in use, to forming part of the natural conservation system and having mainly recreational uses.
4. Conservation Lands and a Floodplain have been identified by the Toronto Regional Conservation Authority (TRCA) and are regulated and managed by the TRCA and the City. Small pockets of conservation land open space, including the open space on the west side of James Street and east of the Fairgrounds, play an important role in the landscape quality and environment of significant heritage contributing open spaces or neighbourhoods. (See Schedule 17, Page 90)
5. Large Humber Park systems such as Nort Johnston Park and Veterans Park, are existing landmarks of past mill and factory use. Doctors Maclean District Park was one of the largest marsh areas of the Humber Valley corridor. Today, the cumulation of these parks provide one of the largest open space opportunities for park amenities and to link trails to other key open spaces. The Board of Trade Golf Course, although a private amenity, functions as a significant open space system for the area.
6. Memorial Hill Park and the Fairgrounds are other significant landmark and cultural heritage resources that contribute to the character, prominence, cultural and civic history of the HCD and need to be better connected to the system of parks, trails and open spaces.
7. A number of smaller-scaled open spaces currently provide a respite to the urban form, help weave the trail system, and serve to sustain the tree canopy. These include: the Old Firehall Parkette, Fred Armstrong Parkette, and the Woodbridge Wesleyan Methodist Cemetery (Old Methodist Church Cemetery) on Meeting House Road east of Kipling.
8. There are significant stands of trees on private land that were once a connected part of the larger natural forest landscape, that also contribute to the natural heritage character of the HCD.
9. There are significant “green linkages” throughout Woodbridge such as “Park Lane Walk” that provide access to the larger open space systems and to neighbourhoods.
10. Although it is excluded from the HCD boundary, the existing ridge of forest east of Islington Avenue is significant in terms of: defining a landscaped edge to the Humber River and the HCD boundary; by providing a green boulevard setting for Islington Avenue and the contributing residential





Schedule 17: Contributing Open Spaces within the Woodbridge Heritage District Boundary

properties along the flats east of Islington Avenue; and by providing a natural landscaped view terminus from Woodbridge Avenue.

Guidelines

1. The HCD Plan should conserve the inherent signature of past environments, especially in the pattern and relationship of the open space to built form, and continue to promote Woodbridge as a community within a park.
2. The open spaces associated with the Humber River and Rainbow Creek river valleys must remain publicly accessible and connected through trails and pedestrian walkways and the natural setting of these landscapes must be respected and enhanced. New trail linkages and connections should be created where it is considered ecologically appropriate and would have to be reviewed by the TRCA.
3. The Humber River Corridor must be conserved and maintained as a significant natural system, remain publicly accessible, and accommodate passive open space recreational uses.
4. Any intervention in areas identified by TRCA as located within the flood line or as conservation lands (identified in Schedule 16) require the approval of the TRCA and the City of Vaughan. Natural conservation lands owned by the TRCA should be conserved.
5. Nort Johnston Park should become the hub of trail connections to the Humber Valley north, to the Woodbridge Core and to Wallace Street and Memorial Hill Park.
6. Accessibility to the park should be enhanced, especially from Woodbridge Avenue, Wallace Street, and Highway 7.
7. The landscape and features of Memorial Hill Park must be conserved, and public use and accessibility of the Park should be enhanced by improving the pedestrian linkages from Nort Johnston Park and potentially from Kipling Avenue via Abel Avenue, with a pedestrian bridge crossing over the rail corridor.
8. Existing small-scaled open spaces must be conserved. New small-scaled open spaces should be designed where possible. All open spaces must be publicly accessible, should be accessible from all directions and should be linked to the larger system of open spaces.
9. Existing "green linkages" throughout Woodbridge should be maintained and new opportunities should be established in various ways such as "wooden bridge" pedestrian connections over the rail corridor, in order to create a continuous "walk" throughout the HCD.

6.6.2 Pedestrian Circulation

The scale and development of Woodbridge has allowed it to be a walkable community throughout its history, with the ability to traverse the neighbourhoods, the core and the natural open

space system via trails, streets and key linkages. There are opportunities to enhance circulation at a scale within the HCD as well as at a scale of the greater Woodbridge area that coincide with the proposed City of Vaughan's Pedestrian and Bicycle Master Plan.

Heritage Attributes

1. A system of trails has provided pedestrians, over the years, a way to reach different open spaces, as well as a way to reach their places of residence, commerce, work, worship, and recreation.
2. Woodbridge Avenue and Meeting House Road provide the most significant east-west connection between the two sides of the river valleys.
3. Clarence Street and Wallace Street provide significant north-south connections and access to different parts of the Humber River Corridor and to the Woodbridge Core.
4. New north-south and east-west pedestrian connections should be sought and created wherever possible such as Memorial Hill Park to Abel Avenue, and the Fairgrounds to Rosewood Court, Rosebury Lane and James Street.

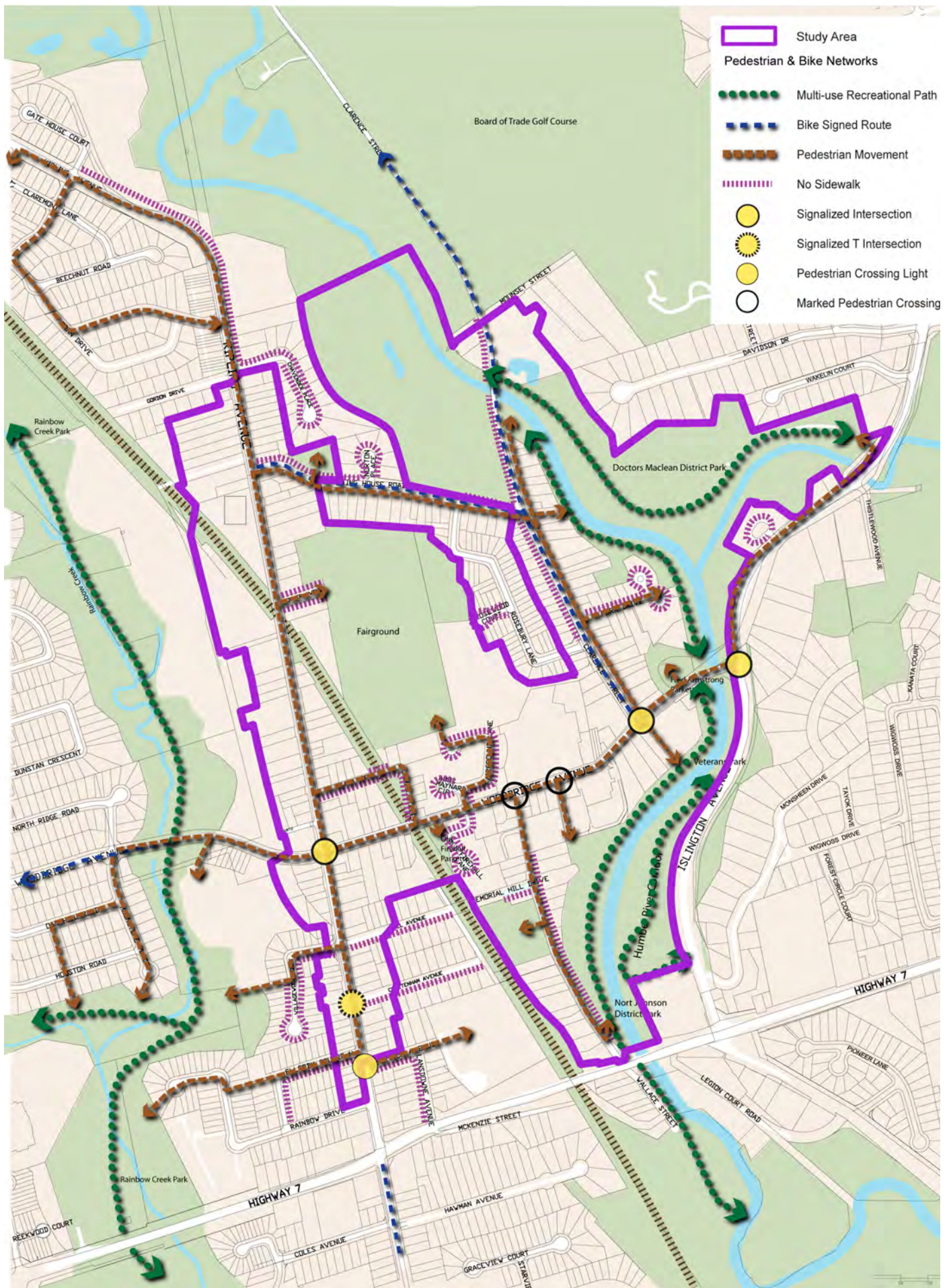
Guidelines

1. All proposed trails within the area should connect to the existing and proposed City of Vaughan's Pedestrian and Bicycle Master Plan. Additional trails and trail connections identified on Schedule 18 (page 92) should be secured and created and must conform to the lay of the land and the vegetation pattern.
2. Woodbridge Avenue and Meeting House Road must be designed and managed to provide pedestrians with an attractive and safe connection, between public open spaces and the Woodbridge Core. New east-west pedestrian connections should be sought and created, wherever possible.
3. Clarence Street and Wallace Street must be designed and managed to provide pedestrians with an attractive and safe connection.
4. The accommodation of pedestrians will have priority over the accommodation of vehicles.

6.6.3 Tree Canopy and Vegetation

Much of the heritage "Village" character of Woodbridge derives from the character of the vegetation, landscape and topography. The conservation of mature vegetation, including trees and stands of trees is a key aspect of the HCD Plan as well as the conservation of the rolling land form, the remnant riverbeds and the distinct vegetative character that defines the valleylands. Most significant is the extensive tree canopy, which can be found in either:

1. stands of trees



Schedule 18: Pedestrian and Bicycle Networks

2. as part of the linear streetscape along the street right-of-way; or
3. as part of individual properties.

Heritage Attributes

1. A substantial tree canopy and vegetation define the character of Woodbridge and are found within the river corridors and the neighbourhoods that bound the river valleys, along the valley slopes of the Fairgrounds, the rail corridor, the golf course, and Memorial Hill Park. It is mainly these landscapes that play the largest role in contributing to the green character of Woodbridge.
2. The river valleys are defined by a diverse mixture of distinct landscapes and topography that represent and reflect the history of the area, particularly the mature stands of trees of the remnant forest, the flat grasslands and meadows that define the old river beds, and the cliff edges along the river banks.
3. There are selected areas such as Memorial Hill Park that have one of the few distinct remaining stands of Scots Pine within the study area, representative of the mature remnant forests of Woodbridge.
4. The natural and distinct rolling landscape of the area can be experienced through the views and topography of Meeting House Road Hill, Woodbridge Avenue and William Street Hill, as well as the stepped incline of Memorial Hill Park, and the sloped hillside of the Fairgrounds to the neighbourhood below.

Guidelines

1. Existing natural forest stands or groupings of trees should be conserved.
2. Streetscapes should conserve the existing green canopy and provide new tree planting where none exists, in order to create a continuous tree canopy along the street.
3. Trees on public and private property, having a tree diameter of twenty (20) centimetres or more or having a base diameter of twenty (20) centimetres or more, must be conserved, and the requirements of the City of Vaughan Tree Bylaw 185-2007 must be adhered to.
4. Prior to the issuance of a Heritage Permit, Building Permit or Site Plan approval, a tree conservation plan is required to be submitted and approved by the City.
5. An on-going tree maintenance and replacement strategy should be developed in order to maintain the extensive forest canopy, especially as maturing trees start to show signs of deterioration or stress.
6. The natural setting of the river valleys must be respected and maintained, and an on going planting strategy to protect and enhance the river's edge and banks, and protect the scenic qualities should be established.
7. Existing natural topographical features and remnant

landscape forms such as the hills, the old river beds mainly evident within the Clarence Street Character Area and Nort Johnson Park, as well as the forested hillsides of Memorial Hill Park and surrounding the Fairgrounds, that reflect and contribute to the historic landscape and character of Woodbridge, should be preserved and maintained.

8. The forested character should be encouraged to expand within the urban context, within the neighbourhoods and especially along streets or trail routes in order to create a continuous system of open spaces, provide a "soft" transition to the built form and ensure that Woodbridge is continuously planned as "a community within a park setting".

6.6.4 Views and Landmarks

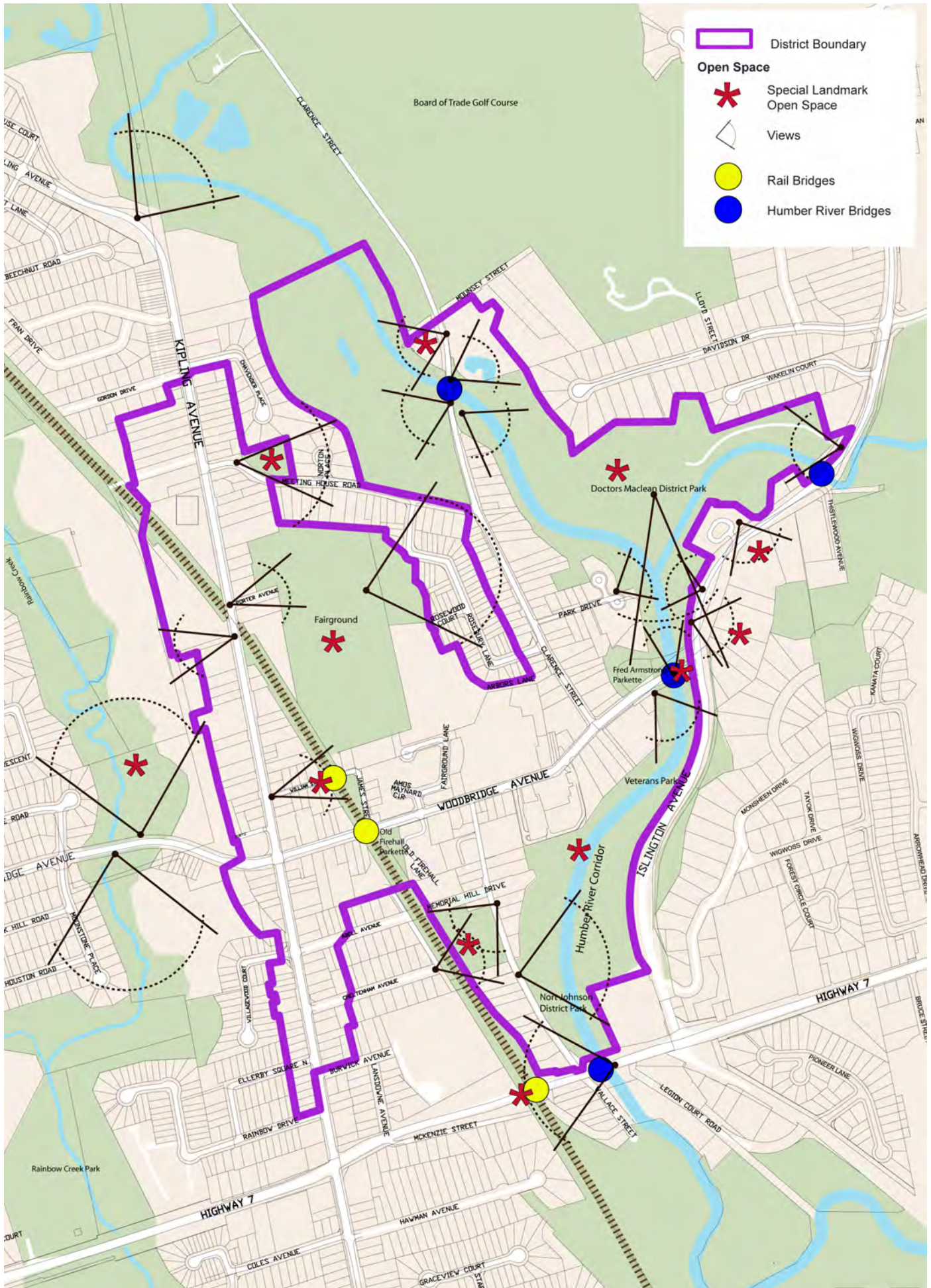
The rolling topography of Woodbridge creates opportunities for frequent views into the valley, and up towards the surrounding hills. There are also key views to heritage landmark features and open spaces such as the bridges, the Fairgrounds and the memorial structures that are scattered throughout the District. The preservation of key views, view corridors, and landmarks are integral to ensuring the visibility and experience of heritage resources and in making them as accessible as possible.

Heritage Attributes

1. Most of the important views take in the Humber River open space resource and the heritage features that are part of that system.
2. There are several special landmark features that range from buildings, memorials, open spaces, and bridges. Some are only visually accessible from certain areas such as Memorial Hill Park. Others are hidden gems within the valley system.

Guidelines

1. All views to the river valleys and to key sites as defined on the adjacent map (Schedule 19: Views, Landmarks and Bridges) should be maintained and protected. Key view corridors, some of which are identified on Schedule 19, should remain open and free from obstruction.
3. Opportunities to identify key views in trail signage and in other mediums such as heritage mapping or as part of streetscaping measures should be considered.
4. The pedestrian and bike network should be integrated in order to experience the key views and view corridors within the District.
5. Additional view points and view corridors to natural features, to special landmarks, and to open spaces should be sought where possible and protected.
6. Further study and inventory of important views throughout Woodbridge should be undertaken at a later date as an addition to this Plan, to ensure that they are protected and conserved.



Schedule 19: Views, Landmarks and Bridges

6.7 Urban Design

6.7.1 Roads, Curbs, Sidewalks and Streetscape

Several of the roads within Woodbridge are significant in defining the heritage character of Woodbridge and contribute in terms of function and layout as per the following descriptions:

- Kipling Avenue – the Heritage Avenue
- Woodbridge Avenue – the Commercial Main Street
- Meeting House Road – the Valley Drive
- Clarence Avenue – the Park Drive
- William and James Street, Wallace Street – Key Neighbourhood Scale Roads
- Neighbourhood Streets

Meeting House Road, Clarence Street, Woodbridge Avenue and Kipling Avenue together form a “Heritage Loop” – a key circulatory route within Woodbridge, connecting the Woodbridge Core to the western neighbourhoods and to Kipling Avenue. These streets are defined by the majority of the heritage fabric that characterizes Woodbridge and are used as a neighbourhood walking trail.

Heritage Attributes

1. Kipling Avenue is the main north south route through Woodbridge and can be defined as a “picturesque heritage avenue” that strongly supports the village qualities of Woodbridge, having a high percentage of 2-3 storey individual heritage contributing buildings that are generously spaced with deep front yards and varying setbacks, and a mature tree canopy for the most part. The avenue has a 20 metre right-of-way with generous sidewalks and some areas of mature remnant forest trees.
2. Woodbridge Avenue is the “commercial main street” of Woodbridge and is defined by a 20 metre right-of-way, with on-street parking at the commercial core, and zero building setbacks with the exception of several heritage buildings with deeper setbacks. The avenue is a mixture of old and new buildings with varying building heights from 2-3 storeys to 4-6 storeys in certain areas, with retail at grade. The commercial core is defined by special street paving along the sidewalks and the street crossings, and where there are pedestrian linkages to the river valley.
3. Meeting House Road is the “valley drive” of Woodbridge reflecting the natural topography characteristic of the valley lands, connecting the ridge of Kipling Avenue to the valley setting of Clarence Street. Meeting House Road is one of the “greenest” streets of the area, reflecting a significant amount of the mature forest landscape and providing views of the valley and the rolling hills. Meeting House Road also has a 20 metre right-of-way, including two travel lanes, and generous sidewalks and setbacks.
4. Clarence Street is characteristic of a “park drive” at a residential street scale. The narrow 17 metre right-of-way

with a two lane 8.5 metre roadway and the close proximity of buildings to street edge on the east side makes this street feel quite narrow and pedestrian in character. A good portion of the buildings on the east side are heritage contributing buildings and a considerable portion of the street is fronted by the Humber River Valley. The sidewalk along this street is discontinuous especially where it meets the valley edge.

5. William Street, James Streets, and Wallace Street are “neighbourhood streets” that are quite intimate in character and represent a prominence of heritage fabric. These streets are small in scale with setbacks that are generally tight to the street, and discontinuous sidewalks. These streets are more rural in character and private in nature having a continuous interplay of private manicured landscapes with the natural parkland and the close proximity of building face to the sidewalks – a character also prevalent on the east side of Clarence Street. These streets function as key linkages to the parklands and major open spaces.

Guidelines

1. Kipling Avenue
 - Should have a continuous planting of street trees on either side of the street and incorporate existing mature trees.
 - Should have a continuous sidewalk on both sides of the street and should be set back from the roadway and buffered by a green planting edge where possible.
 - Special paving materials should be used at key intersections and pedestrian oriented nodes.
 - The street cross section should be maintained as a three to four lane roadway and allow for various modes of transit such as buses and bicycles, as well as on street parking.
 - Properties with extensive front yards should remain transparent to the street and should be enhanced with gardens allowing for additional tree planting and landscaping.
 - Dedicated left hand and right hand turn lanes should be avoided with the exception of the Kipling Avenue and Woodbridge Avenue intersection.
2. Woodbridge Avenue
 - Should continue to function as a mixed use commercial street and promenade with commercial animation at grade.
 - The street section should reflect a more formal landscape treatment and tree planting design that responds to at-grade retail amenities such as building shade canopies, cafe furnishings and ease of pedestrian movement. The sidewalks should have special paving to enhance the identity of the commercial core, and gateway treatments at the Kipling Avenue and Woodbridge Avenue intersection.

- The sidewalks should be primarily hard surfaced to accommodate pedestrian traffic and there should be continuous sidewalk on both sides of the street.
- Should have a continuous enhanced paving treatment and palate of furnishings such as special lighting standards and benches that demarcate it as a “special street” and enhances the identity of the Woodbridge Core.
- Should accommodate on street parking where possible.

Meeting House Road, Clarence Street, Park Drive, William Street, James Street, and Wallace Street are unique and share different characteristics to that of Kipling Avenue and Woodbridge Avenue. These streets have strictly residential “street walls” intermixed with open space frontages, have small scale intimate street cross-sections, are less formal in streetscaping characteristics, have more “soft” landscaping qualities because of their relation to the river valley landscape and topography, and have a discontinuous double sided sidewalk condition. All buildings are single free standing structures of varying setbacks that seem to be “engulfed” in the forest landscape.

All of these streets have a single sided sidewalk cross-section for at least half of their street lengths, (see Schedule 18: Pedestrian and Bicycle Networks), and in all cases, have a relationship to the Humber River valley landscape. A change in sidewalk condition usually occurs where the river corridor meets the street edge. These streets are some of the oldest in Woodbridge’s street pattern and the single sided sidewalk attribute should be maintained as it reflects the remnant village character.

All new streets within the District should have a continuous double sided sidewalk condition.

3. Meeting House Road

- Should be maintained as the main connection to the valley from Kipling Avenue with a continuous planting of street trees set within a green planting edge.
- Additional tree planting should be encouraged on private property to contribute to the green canopy of the street.
- Views down to the valley from the top of the hill should be maintained and remain unobstructed.

4. Clarence Street and Park Drive

- Should be maintained as a “Park Drive” with a two travel lane cross section.
- Should have a continuous planting of street trees.
- Additional tree planting should be encouraged on private property especially where street trees cannot be accommodated within the right-of-way.

5. William, James, Wallace Streets

- Retain the small scale intimate and casual character of the streets, maintaining a two lane roadway with streetscape parking.

- Should maintain open space linkages to Nort Johnston Park and the Fairgrounds.
- Should have a continuous planting of street trees on both sides of the street.
- Additional tree planting should be encouraged on private property, especially where street trees cannot be accommodated within the right-of-way.

6. All other residential streets

- The same guidelines established for the above streets should be applied.
- For all other residential streets, a continuous double sided sidewalk condition is recommended.

7. Topography

- Maintain the alignment and hilled character of Meeting House Road, William Street, and Woodbridge Avenue in order to maintain the visual and physical experience of the rolling topography and the valley lands.

6.7.2 Street Furniture and Pedestrian Amenities

- In order to maintain a consistent character and identity for Woodbridge, a palate of high quality durable materials should be established for street furnishing and pedestrian amenities such as benches, tree grates, garbage receptacles, bike racks, newspaper stands, bus shelters, signage as well as lighting standards and street paving materials and should reflect color and style uniformity as well as ease of maintenance.
- Any existing furnishings or characteristics may be of value should be retrofitted and incorporated into new design. The language of materials should be coordinated but should also vary to some degree to reflect the distinct characteristics of the different character areas, streets and old and new architecture. For example, a more formal and public approach to furnishing and paving materials should be applied to Woodbridge Avenue such as providing benches and bike racks; a formal rhythm of street tree planting to accommodate street furniture, pedestrian movement and provide shade; and using paving materials to define the avenue as a distinct public commercial area. A more scaled down and intimate approach should be considered for residential streets where the emphasis should be placed on maximizing the amount of “green” along the street, in terms of street tree and boulevard planting, and increasing the natural forest canopies and landscapes.

6.7.3 Street Trees

- In general, all streets should be well planted with street trees to enhance the green character of the District and extend the character of the surrounding parkland.

- Further to this, the type, use, language and location of street trees should be carefully considered to support and enhance the heritage character and attributes that are fundamental to each street type as described in the above section 6.7.1. For example, streets such as Kipling Avenue that are considered “park drives” should, where the right-of-way allows, have a staggered double row of street tree planting. Clarence Street should also have a single row of trees that can provide a complete overhead canopy.
- Trees along commercial streets such as Woodbridge Avenue should be planted at grade, with urban street tree planting techniques that provide longevity to trees in a more urban and traversed context, including trench planting. It is important for streets such as Woodbridge Avenue with building heights up to six storeys, to have street trees that provide human scale comfort to the street.

6.7.4 Signage

- Should be expressive of the character and quality of Woodbridge, but designed to respectfully fit its “village” context, without being too idiosyncratic or “quaint”.
- Should be designed to direct visitors and the community to hidden features, heritage gems, and key built and open space features throughout Woodbridge.
- Should be used for wayfinding of trail and pedestrian routes such as the Woodbridge “heritage walk loop” and routes to the valley system.
- Commercial signage should be limited to ground level uses along woodbridge Avenue and Kipling Avenue and should remain flush with the building facade. Back-lit signage and third party signage are prohibited within the HCD.

6.7.4.1 Signage By-Law

The City of Vaughan By-Law 203-92 regulates signage in the City. Section 11 of the By-Law establishes “Special Sign Districts” in Thornhill, Kleinberg, Woodbridge, and Maple. Woodbridge should continue to be designated a Special Sign District.

- The Woodbridge Special Sign District should be amended to include the entire boundary of the Woodbridge Heritage Conservation District.
- The Sign By-Law should be amended to strengthen its protection of the heritage character in the Heritage District. In particular, internally illuminated signs and awnings should be required to be retractable, in the traditional profile and material.
- The Sign By-Law should be enforced

6.7.5 Street Lighting

- A hierarchy of street lighting standards should be established for the various street types and character areas to accommodate varying conditions such as pedestrian scaled lighting along more pedestrian oriented streets or trail walks, or a combination of pedestrian and vehicular lighting for the main streets.
- Placement of lighting should be coordinated and in keeping with the rhythm and placement of other streetscape features such as street trees, benches and other furnishings.
- Placement and style of lighting should achieve the necessary level of illumination required for the given streetscape and area.
- The style of lighting should be respectful of the heritage character of Woodbridge and should vary in scale according to the type and character of the street.
- Along Woodbridge Avenue and Kipling Avenue both street lighting and pedestrian scaled lighting should be applied as part of the streetscape furnishing and should also accommodate opportunities for additional features such as banners, signage or plant material.
- More pedestrian scaled lighting standards should be applied for Clarence Street, Wallace Street, William Street and James Street, and should also have the potential for additional embellishment that could provide unique features for the different character areas.

6.7.6 Parking

- On street parking is allowed along the main commercial and mixed use streets: Kipling Avenue and Woodbridge Avenue.
- Where the right-of-way permits, on street parking should be accommodated on one side of residential streets: Wallace Avenue, Clarence Street.
- As intensification occurs, publicly accessible structured parking along Woodbridge Avenue should be considered.
- On-site parking, including structured parking should not be visible from the street or from public spaces. Parking areas should be concealed and buffered with buildings with active uses.

6.7.7 Bridges

(See Schedule 13, Page 68)

In 1855 the name “Woodbridge” was chosen for the settlement partially due to the number of wooden bridges within the community that were needed to cross the Humber River and tributaries running through the area. There are two distinct types

of bridges present within the Woodbridge Heritage Boundary today:

- two C.P.R. bridge crossings – over William Street and at Woodbridge Avenue.
- three Humber River vehicular and pedestrian bridge crossings – Clarence Street north, at Woodbridge and Islington Avenues, and Islington Avenue north.

Heritage Attribute

1. The bridges and concept of “bridging” is an inherent part of the historical infrastructure that represents Woodbridge due to the natural landscape of the Humber River.
2. The bridges contribute as special features within the Heritage district and can typically be viewed and experienced in the context of the forested landscape.
3. The bridges provide opportunities to view the valley landscape, are an integral part of the valley trail experience in terms of scenic views, and function as unique art forms within the landscape.

Guidelines

1. The rail bridges in Woodbridge have an historic quality and should be maintained, and existing pedestrian access should also be maintained.

2. The Humber River bridges identified in Schedule 19 are fairly new and have minimal heritage character. If these bridges are ever replaced, bridges with some symbolic reference or artistic “heritage” quality should be considered.
3. Recognition of the original Humber River bridges should be considered in the form of signage or plaques, and should be provided at the original bridge locations or on the bridges that are still in or near the original locations.



C.P. Rail Bridges

Humber River Bridges